

7-9 Victoria Road + 21 Sorrell Street Parramatta

UNIT BREAKDOWN

Sheet No.

Client: Bookrill Pty. Ltd.



V1: Victoria Road (looking down Sorrell St south)



V2: Victoria Road (looking south at project site)



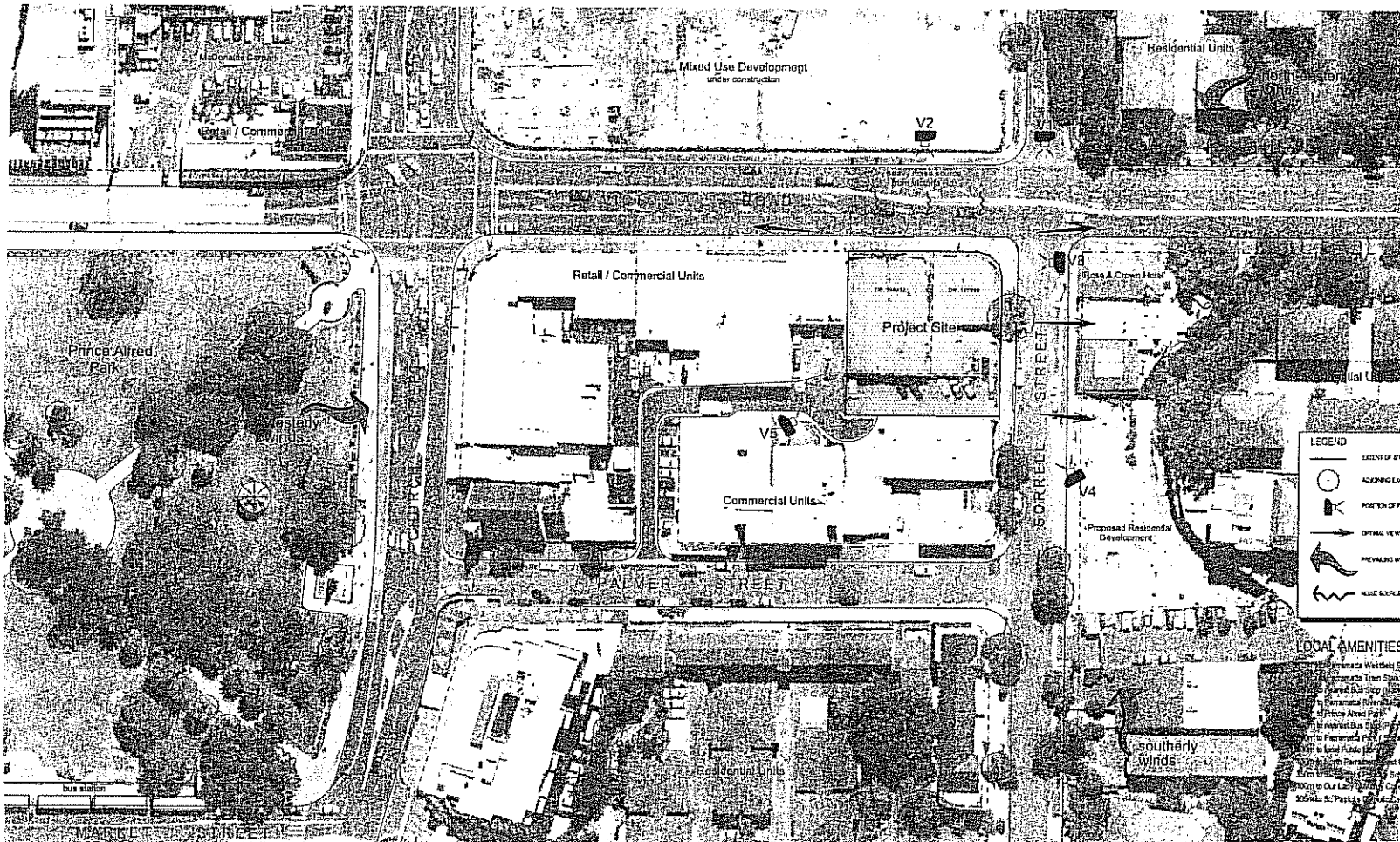
V3: Sorrell Street (looking west at project site)



V4: Sorrell Street (looking north at project site)



V5: Top of Correy Place (view west)



LOCATION MAP
N.T.S.

NOTE:

- for more information regarding the site and its surrounds refer to the written site analysis statement
- refer to ground floor plan and survey drawings for site dimensions and bearings

ARCHITECTURAL CHARACTER:
refer to written site analysis statement

LEGEND

- EXTENT OF SITE TO BE DEVELOPED
- ADJOINING EXISTING TIES
- POSITION OF PHOTO TAKEN
- OPTIMAL VIEW FROM SITE
- PREVAILING WIND DIRECTION
- NEIGHBOUR

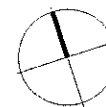
A. Development Application	10/03/10
F1. Planning Scheme to Consider	23/07/10
F2. Planning Scheme to Consider	23/07/10
F3. Planning Scheme to Consider	23/07/10

architex
 55 Clarendon Road,
 Cammeray NSW 1585
 Tel: 9487 3768
 Fax: 9487 1035
 www.architex.com.au

DEVELOPMENT APPLICATION

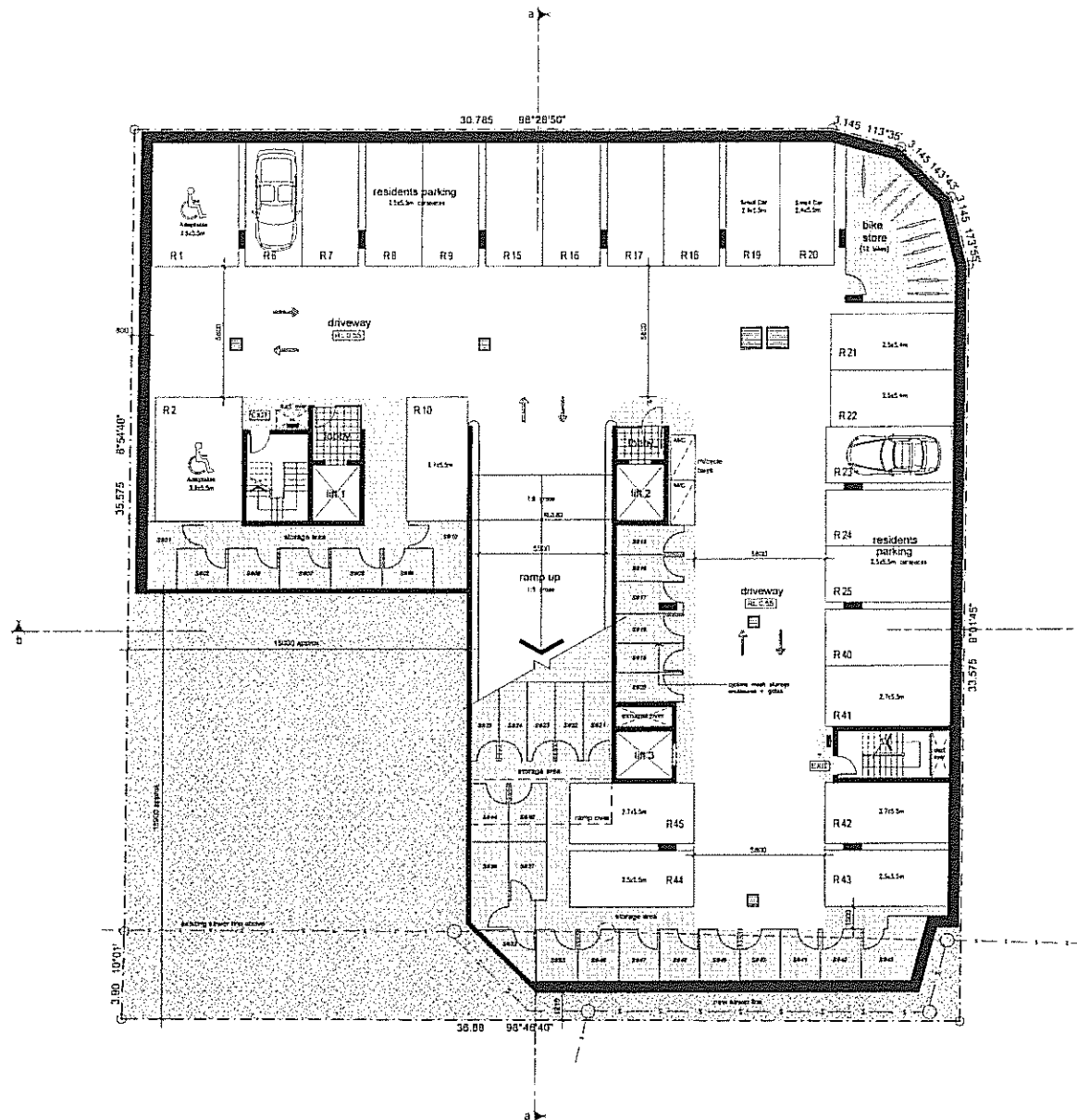
Project	Development Application Mixed Use Development
Project address	7-9 Victoria Road Parramatta
Client	Baskin Pty. Ltd.
For	Site Analysis
Drawn	1906
Scale	1:500 @ A1
Checked	DA01
Scale	A

True northpoint



Notes:

Do not scale. Check grid north or dimensions before commencing new work. Ground levels may vary due to site conditions.



Legend
 R1-R20 Trucked Floor Level
 R21-R43 Freeway Restaurant Level

*** all basement carpark bays to be paved with ***

Note:
 The internal driveway ramp section, circulation stairs and vehicle turning areas shall be designed and constructed in accordance with AS2550.1 for two-way vehicle movements.

Note:
 All parking spaces are a minimum of 2.4m in width by 5.4m in length. Stairs minimum of 2.7m in width where adjacent to a wall or column. Stairs minimum of 2.0m where adjacent to walls on both sides.

A. Development Application	10/20/12
PA. Initial, State to Council	22/01/12
PA. Initial, State to Council	15/12/12
PA. Initial, State to Council	27/11/12

Scale: 1:100 (Horizontal) 1:200 (Vertical)

architex
 30 George Street
 Sydney, NSW 2000
 Tel: 9462 5336
 Fax: 9462 1624
 www.architex.com.au

Project:
 Development Application
 Mixed Use Development

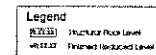
Project address:
 7-9 Victoria Road
 Parramatta

Client:
 Bookall Pty. Ltd.

The:
 Basement Level 3

Drawn: pdp	Scale: 1:100 (BA1)	Checked: pdp
Date: 1906	Drawing No: DA02	Sheet: A

Did not work. Check and verify all dimensions before commencing new work.
Ground levels may vary due to site conditions.



Note:
The internal driveway ramp widths, circulation aisles and vehicle turning areas shall be designed and constructed in accordance with AS 2930.1 for two-way vehicle movements.

Note:
All pairing species are a maximum of 2 dm in width
by 5 dm in length. Species increase to 2.7m in width
while adjusted to a wall or column. Species increase
to 3 dm when adjusted to walls on both sides.

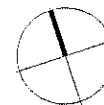
4. Development Application and	10-12-02
23. Permit Issue to Council	23-01-03
24. Permit Issue to Client	10-12-02
25. Permit Issue to Client	27-11-02
Overall Completion	Done



DEVELOPMENT APPLICATION

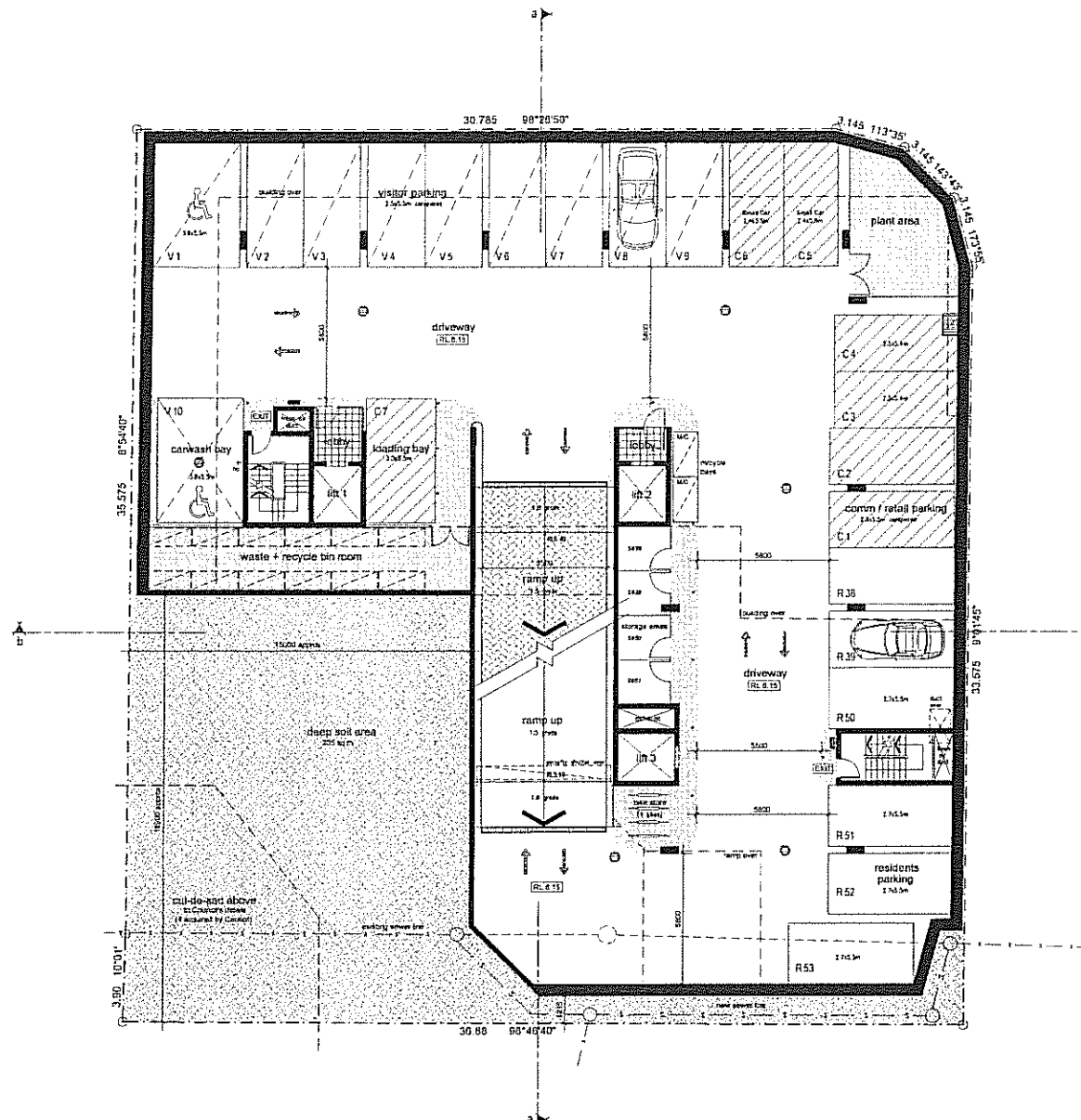
Project		
Development Application Mixed Use Development		
Project Address		
7-9 Victoria Road Paramatta		
Client		
Bookit Pty. Ltd.		
The		
Basement Level 2		
Drawn	Scale	Checked
pad	1:100@A1	
Job No.	Drawing No.	Date
1906	DA03	A

NOT TO SCALE



NOTES

Check actual ground level at all corners and at intervals of 10m along the perimeter of the site. Ground level may vary due to the contours.



Legend
 (RL 6.15) Structural Floor Level
 (RL 6.15) Finished Reduced Level

*** All basement carpark openings to be painted white ***

Note:
 The internal driveway ramp width, circulation area and vehicle turning area shall be designed and constructed in accordance with AS2860.1 for two-way vehicle movements.

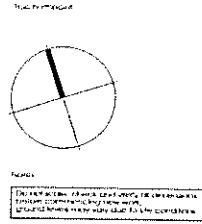
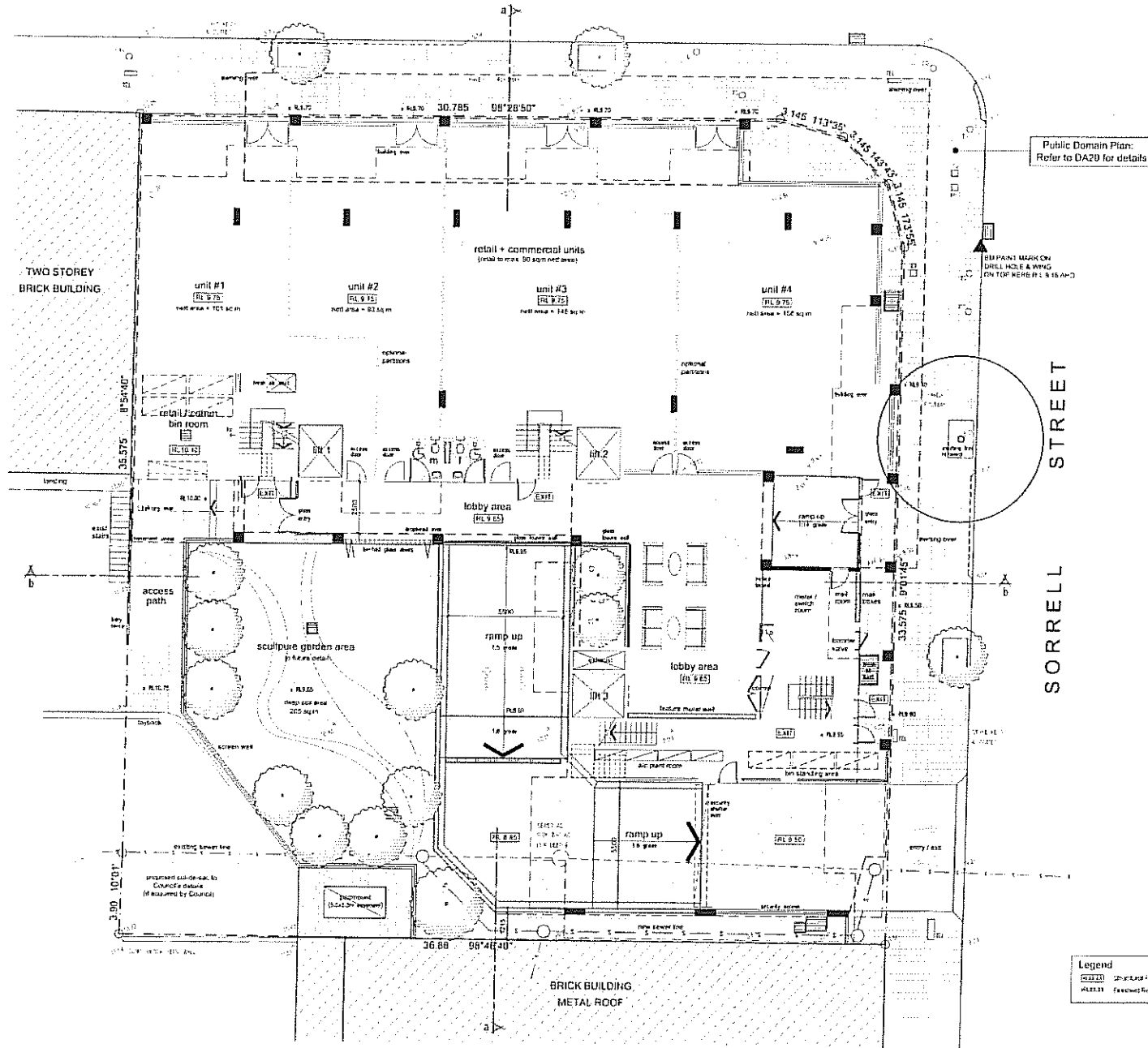
Note:
 All parking spaces are a minimum of 2.5m in width by 5.0m in depth. Spaces increase to 2.7m in width where adjacent to a wall or column. Spaces increase to 3.0m where adjacent to walls on both sides.

A. DEVELOPMENT APPLICATION NO.	10.05.10
P1. PROJECT NAME & COMMENTS	25.01.10
P2. PROJECT NAME & COMMENTS	10.10.10
P3. PROJECT NAME & COMMENTS	27.11.10

architex
 ARCHITECTURAL DESIGN & CONSTRUCTION
 30 COCHRAN STREET, GARDENS, 2142
 TEL: 9587 3078 FAX: 9587 7626
 WWW.ARCHITEX.COM.AU

Project	Development Application Mixed Use Development		
Project Address	7-9 Victoria Road Parramatta		
Client	Bookall Pty. Ltd.		
Title	Basement Level 1		
Drawn	dpb	Scale	1:100 @ A1
Date	1906	Drawn No.	DA04
		Sheet	A

VICTORIA ROAD



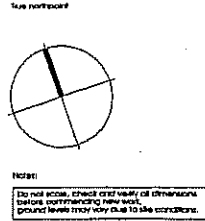
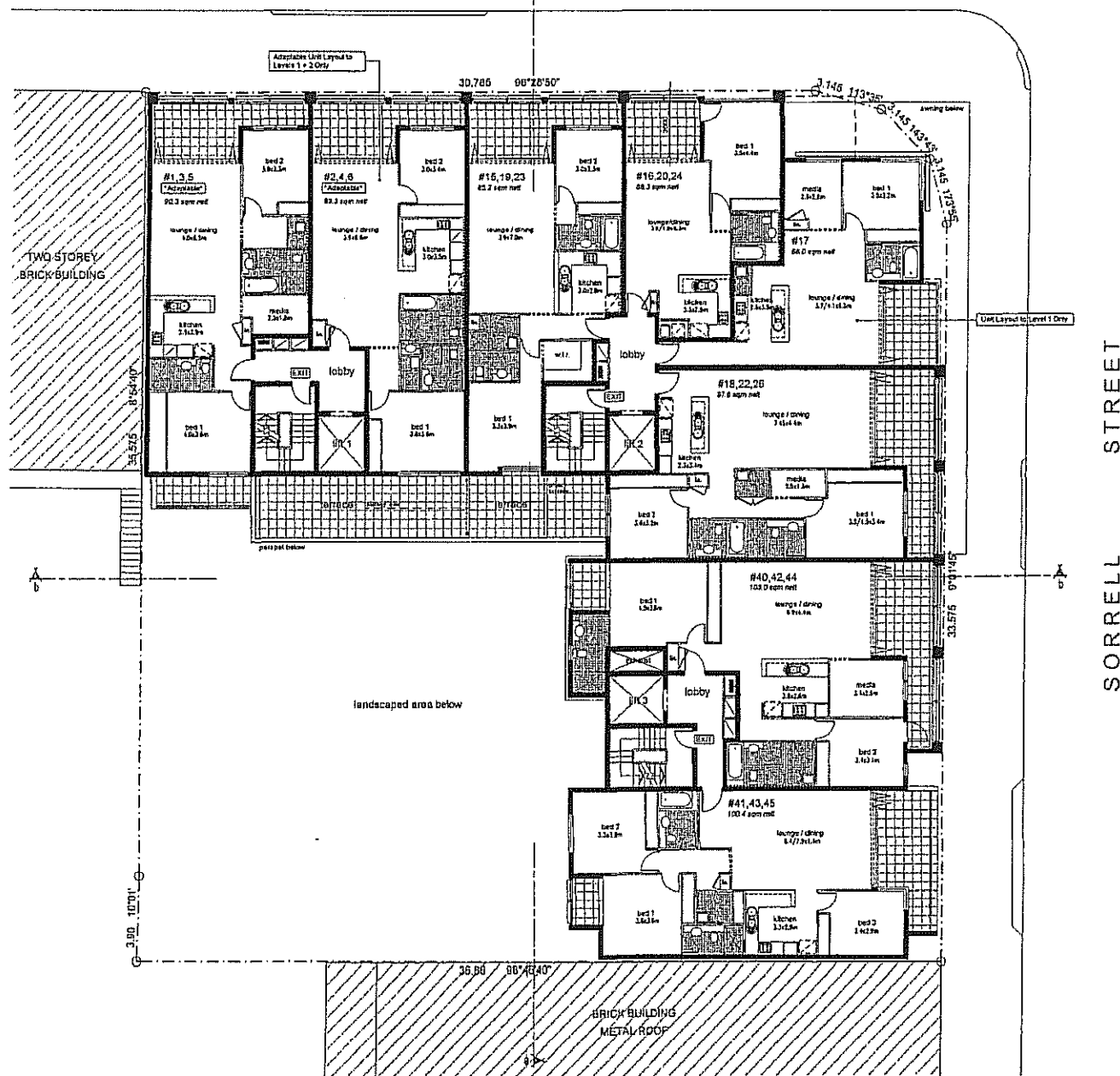
total commercial net area = 403 sq m
total retail net area = 90 sq m
total = 493 sq m

1. Checked by approved CDF Professional	28.04.10
2. Checked by approved CDF Professional	28.04.10
3. Checked by approved CDF Professional	28.04.10
4. Checked by approved CDF Professional	28.04.10
5. Checked by approved CDF Professional	28.04.10
6. Checked by approved CDF Professional	28.04.10
7. Checked by approved CDF Professional	28.04.10
8. Checked by approved CDF Professional	28.04.10
9. Checked by approved CDF Professional	28.04.10
10. Checked by approved CDF Professional	28.04.10

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Project
Development Application
Mixed Use Development
7-9 Victoria Road
Panmure
Client
Bochill Pty. Ltd.
Site
Ground Floor Level
Date
Drawn
1:100 (GVA)
Checked
1906 DA05 C

VICTORIA ROAD



SORRELL STREET

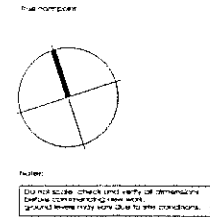
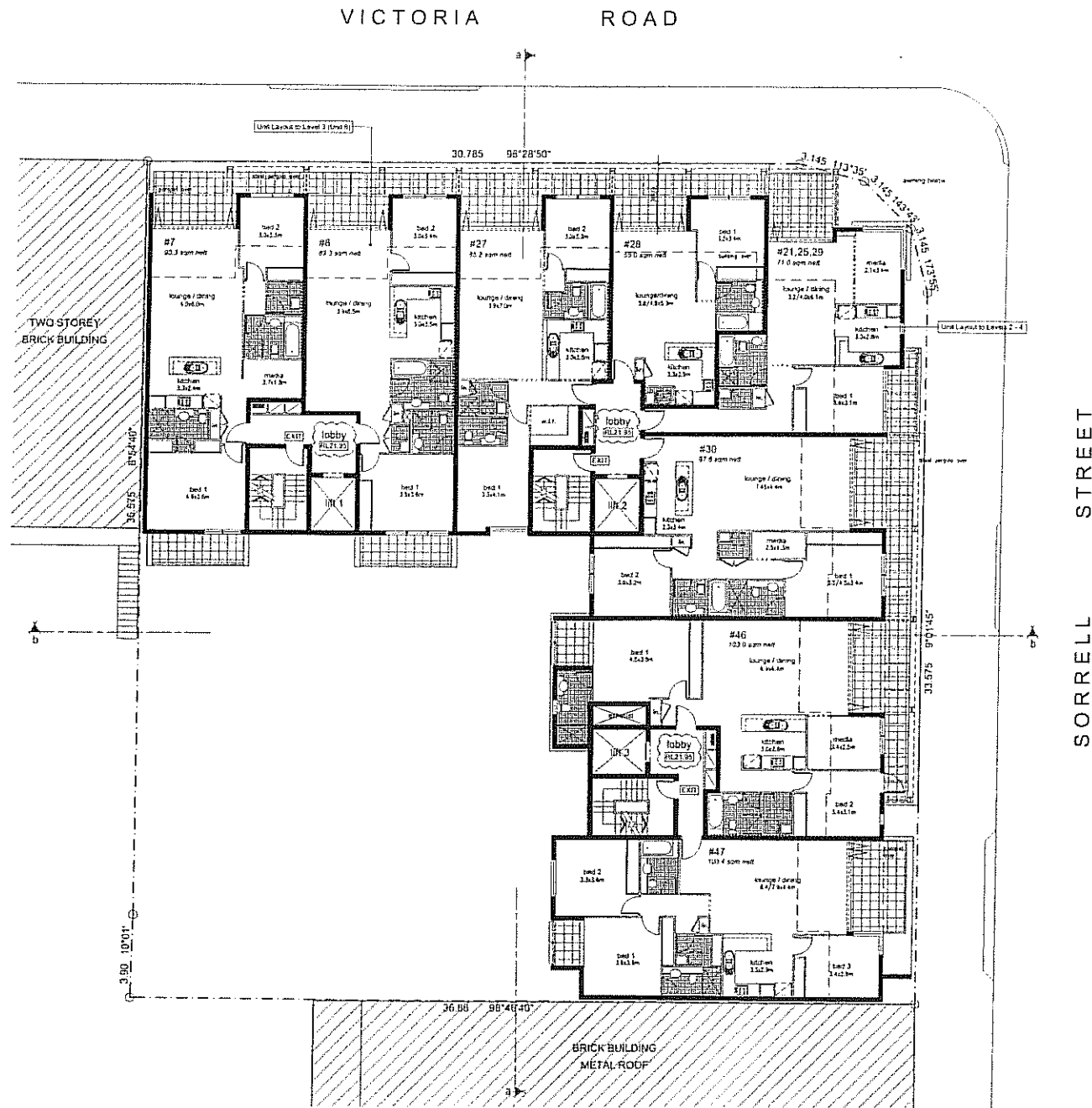
Legend
 [Hatched] Included floor level
 [Dashed] Proposed Reduced Level

A. Development Application sub	10-02-10
P1. Public, Issue to Council	10-02-10
P2. Public, Issue to Clerk	10-12-10
P3. Public, Issue to Clerk	27-11-10
Issue description	Date

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 Bytown City and Urban Services
 Unit 32 003 918 142
 63 Cowper Street,
 Sydney, 2142
 www.architex.com.au
 Tel: 9181 8083
 Fax: 9181 1406

Project	Development Application Mixed Use Development
Project address	7-9 Victoria Road Paramatta
Client	Rockall Pty. Ltd.
File	Typical Levels 1 to 3
Drawn	bdp
Scale	1:100 @ A1
Checked	
Job No.	00000000
Drawing No.	
Date	

DEVELOPMENT APPLICATION



1. Sent to address Council issue	31.04.12
2. Development Application issue	10.12.12
3. Final issue to Council	19.01.13
4. Final issue to Client	19.12.12
5. Final issue to Client	27.11.12

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PLANNING CITY & STATE ARCHITECTS

1001 32.723.313 142

55 Coward Street, Sydney, NSW 2142 Tel: 9551 5044

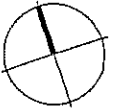
9551 5044 Fax: 9551 5044

www.architex.com.au

Project	Development Application Mixed Use Development
Project address	7-9 Victoria Road Paramatta
Client	Rockall Pty. Ltd.
File	Level 4
Drawn	DA07
Scale	1:100 (30m)
Checked	B
Date	1906

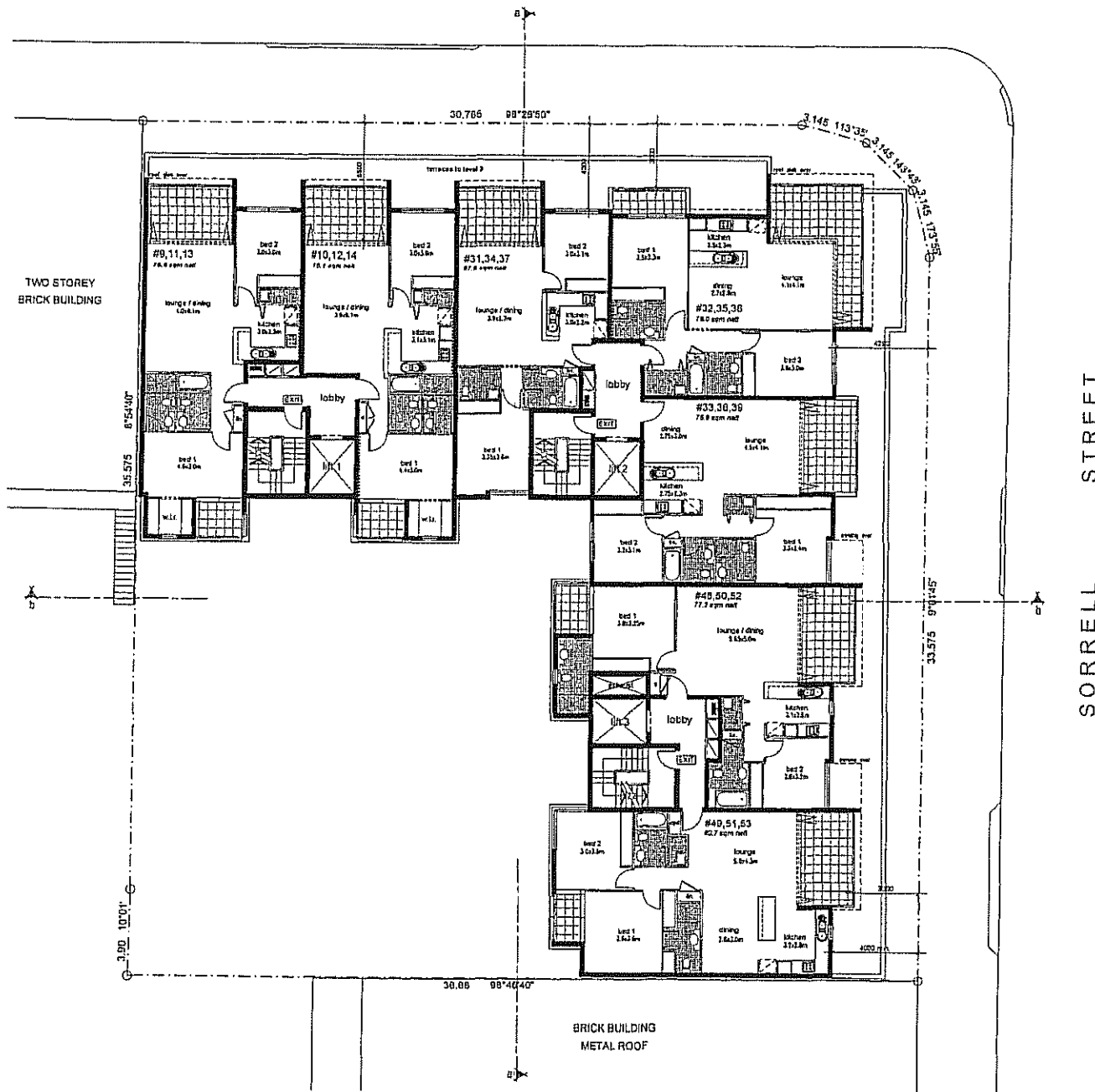
VICTORIA ROAD

True north



Notes:

Do not scale, check and verify all dimensions
before commencing any work.
Ground levels may vary due to any conditions.



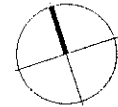
A. Development Application Issue	19-02-18
R. Plans Issue to Consultants	25-01-19
F. Plans Issue to Client	25-01-19
P. Plans Issue to Client	27-01-19
Issue (Date/Version)	Date

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 50 Campbell Street
 Stoney Creek, 2143
 email: info@architex.com.au
 www.architex.com.au
 Tel: 9465 6048
 Fax: 9467 1426

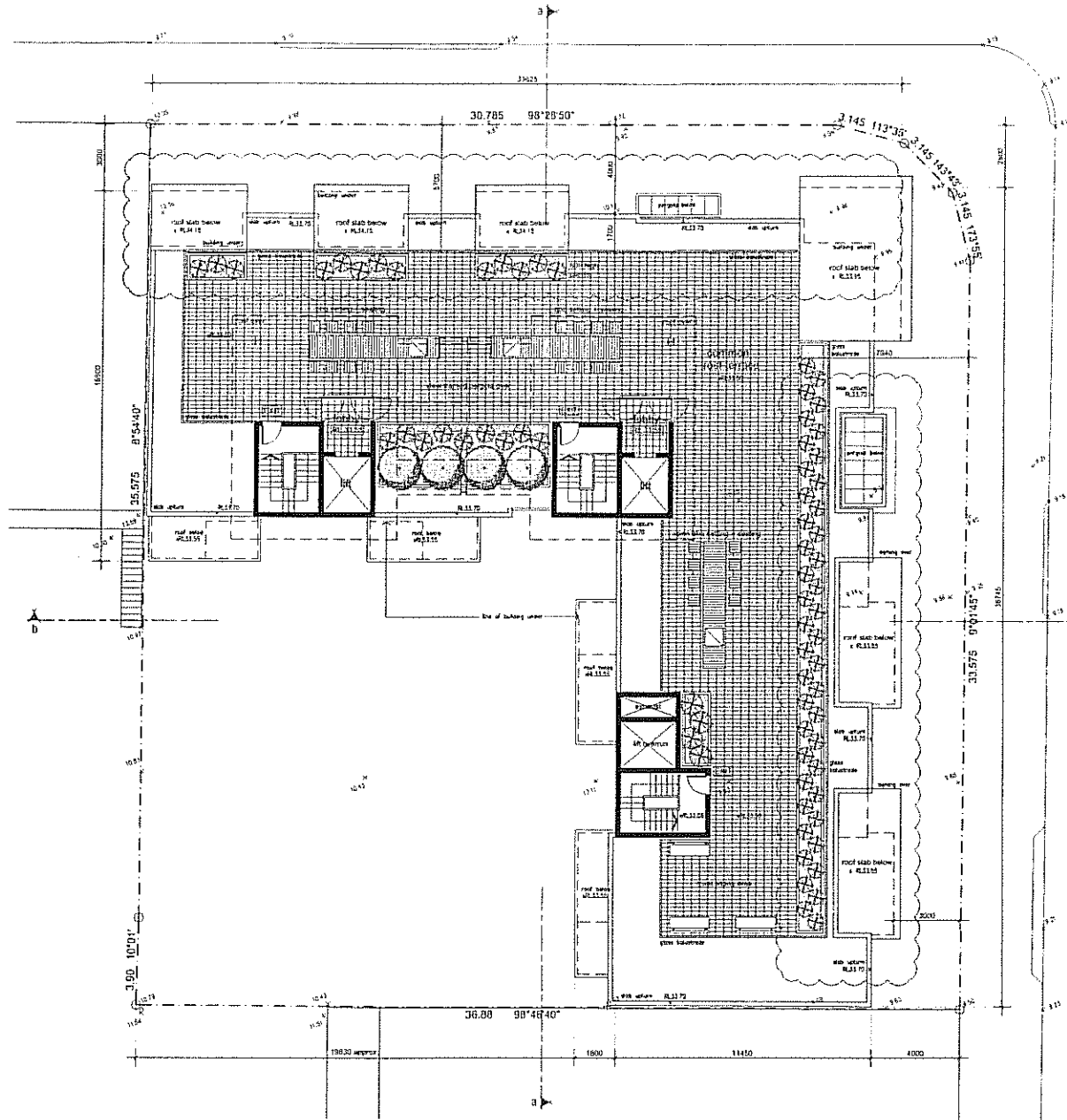
DEVELOPMENT APPLICATION	Project Development Application Mixed Use Development
	Project location 7-9 Victoria Road Parramatta
	Client Bookill Pty. Ltd.
	Title Typical Levels 5 to 7
	Drawn GDP Scale 1:100 @ A1 Checked GDP Date 14/02/19

VICTORIA ROAD

Scale 1:100



Notes:
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before commencing any work.
Ground levels may vary due to site conditions.



SORRELL STREET

Legend
 (Hatched) Structural Floor Level
 (Dotted) Finished Reduced Level

1. Issued for Construction	11.06.15
2. Issued for Construction	13.02.15
3. Issued for Construction	15.04.15
4. Issued for Construction	15.04.15
5. Issued for Construction	15.04.15

Scale 1:100

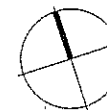
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 ARCHITECTURAL & ENGINEERING
 25 Convent Street, Granville, NSW 1585
 Tel: 9442 9049 Fax: 9442 1506
 www.architex.com.au

DEVELOPMENT APPLICATION

Project	Development Application Mixed Use Development
Project Address	7-9 Victoria Road Panorama
Client	Bookit Pty. Ltd.
Title	Roof Terrace Level
Drawn	DDP
Scale	1:100 (A1)
Check	DA09
Date	1906
Sheet	B

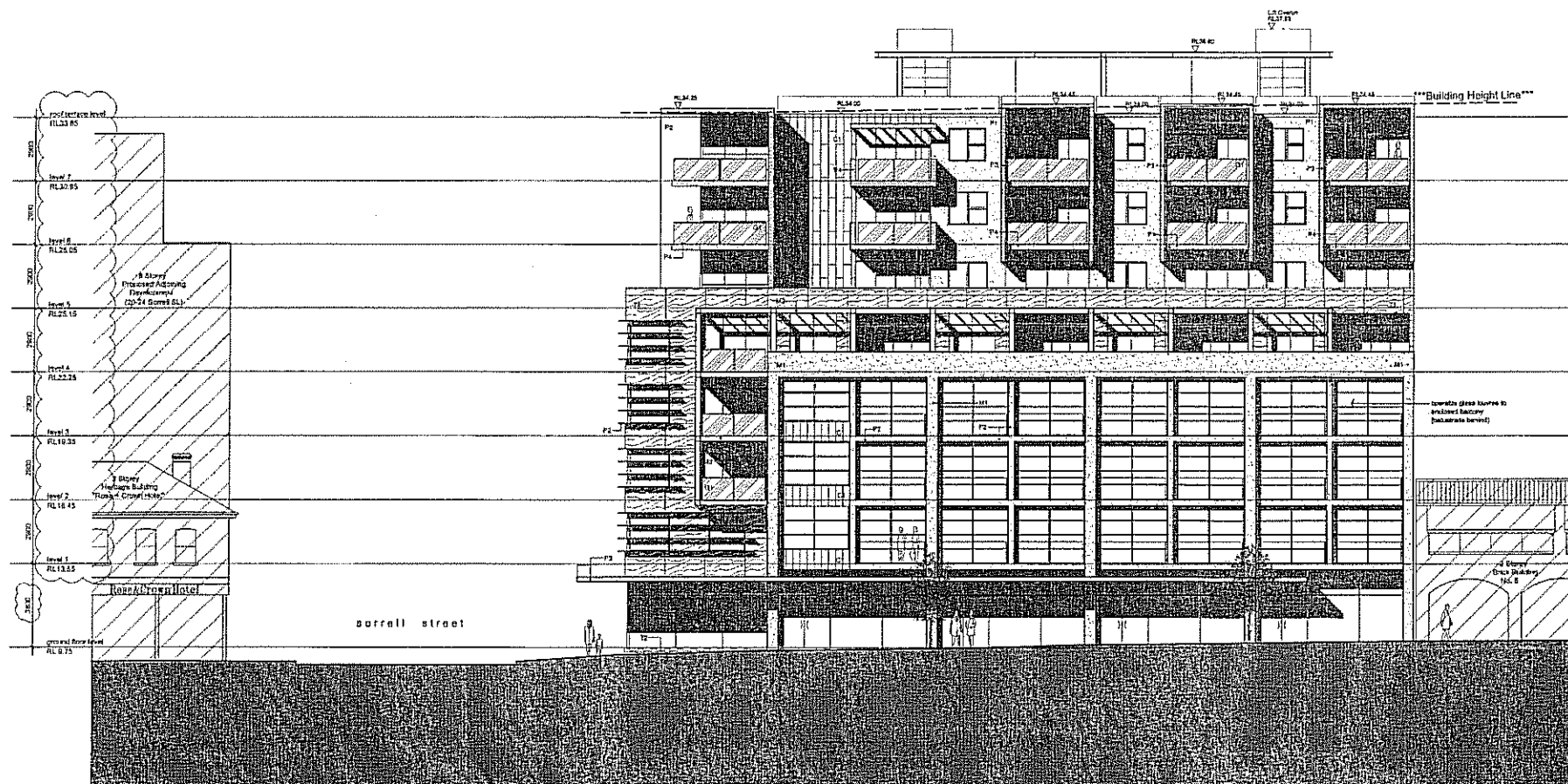
ROOF TERRACE LEVEL

True North



Notes:

Do not scale. Check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



NORTH ELEVATION Victoria Road Elevation

LEGEND

EXTERNAL MATERIALS AND FINISHES

P1	PAINT FINISH 1 Dulux Silver PG3.C2	C1	FEATURE WALL CLADDING 1 Turalast Panel Copper Cladding System Mat (precast) Irish
P2	PAINT FINISH 2 Dulux Deep Weald P13.A7	C2	FEATURE WALL CLADDING 2 Turalast Panel Zinc Cladding System Coursed (Marium Silver Finish)
P3	PAINT FINISH 3 Dulux Brooked Glaze P02.D9	PG1	WINDOWS + PERGOLAS Dulux Powdercoat Premium Silver Pearl 9725
P4	PAINT FINISH 4 Dulux Lescage PAVI.D9	M1	MATERIAL FINISH 1 Polished + Sealed Concrete
T1	TILE FINISH 1 Cinacur Sandstone Tile Cladding Teakwood Grain Finish	M2	MATERIAL FINISH 2 Steel (Diamond Plate) Stainless Steel Finish
T2	TILE FINISH 2 Cinacur Quartzite Wall Cladding Quartzite Sandstone		
G1	GLASS BALUSTRADES Pittsburgh Tinted Toughened Glass Orbital Grey		

*** 24m high building height line
in accordance with Parramatta
City Centre LEP + DCP 2007***

C	Revised to include DCP 2007	18-02-10
R	Revised to include Council's input	07-02-11
A	Amended to include Architect's input	10-02-12
P1	Paint, base to Council	25-01-12
P2	Paint, base to Client	10-12-09
P3	Paint, base to Client	23-12-09

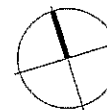
REVISION DESCRIPTION DATE

architex
Architectural Design and Construction
Unit 1, 11-13 The Arcade
Sydney, NSW 2000
Tel: 02 922 5000
Fax: 02 922 5001
www.architex.com.au

Project	Development Application Mixed Use Development
Project Address	7-9 Victoria Road Parramatta
Client	Bookall Pty. Ltd.
Title	Elevations
Drawn	BCD
Scale	1:100 @ A1
Check	DA10
Rev	C

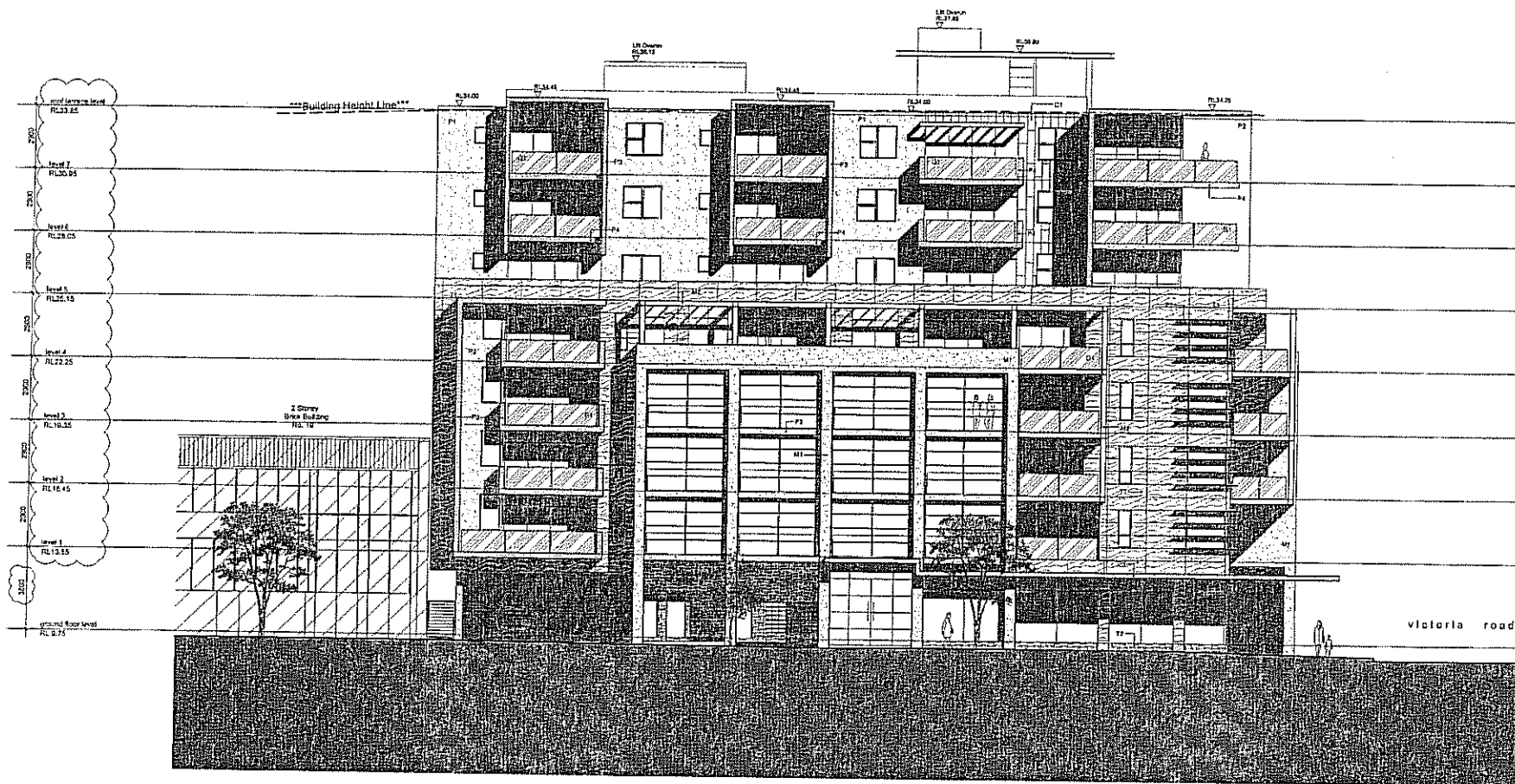
DEVELOPMENT APPLICATION

True North



FORM:

Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.



EAST ELEVATION Small Street Elevation

LEGEND

EXTERNAL MATERIALS AND FINISHES

P1 PAINT FINISH 1 Dulux Shearwater PGG202	C1 FEATURE WALL CLADDING 1 'Tussock' Panel Cladding System M4 (natural finish)
P2 PAINT FINISH 2 Dulux Deep Water P13A7	C2 FEATURE WALL CLADDING 2 'Tussock' Panel Cladding System Cladding (natural finish)
P3 PAINT FINISH 3 Dulux Smoked Clay P22.06	PC1 WINDOWS - PERGOLAS Dulux Powdercoat Prismatic Glass Panel ST225
P4 PAINT FINISH 4 Dulux Lexion PW1.09	M1 MATERIAL FINISH 1 Polished - Grained Concrete
T1 TILE FINISH 1 'Onyx' Sandstone Tile Cladding Tearwood Sawn Finish	M2 MATERIAL FINISH 2 Sawn Timber/Glulam Stainless Steel Finish
T2 TILE FINISH 2 'Onyx' Sandstone Tile Cladding Tearwood Sawn Finish	
Q1 GLASS BALCONY/TRADE Pittsburgh Thru-Toughened Glass Cerise Grey	

*** 24m high building height line
in accordance with Parramatta
City Centre LEP + DCP 2007***

C. Noted to LEP/DSP comments	28-06-12
B. Noted to LEP/DSP comments	01-06-12
A. Development Application	24-05-12
P1. Noted to Comments	25-05-12
P2. Noted to Comments	10-06-12
P3. Noted to Comments	20-06-12

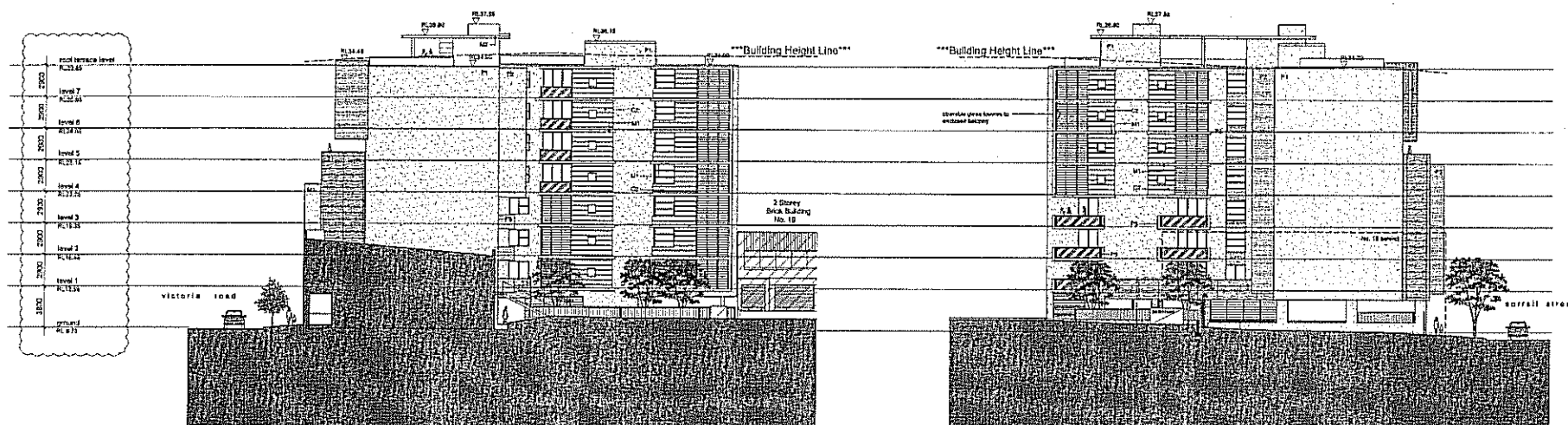
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Sydney City and Suburban Architects
Unit 32 555 510 142
65 Concorde Street,
Glenmore, NSW 2162
architex@architex.com.au
www.architex.com.au

Tel: 9457 6185
Fax: 9457 1462

Project Development Application Mixed Use Development	Date 1906	Scale 1:100 (DA)	Checked C
Project address 7-9 Victoria Road Parramatta	Drawn DA11	Scale 1:100 (DA)	Checked C
Client Bookill Pty. Ltd.	Drawn DA11	Scale 1:100 (DA)	Checked C
Title Elevations	Drawn DA11	Scale 1:100 (DA)	Checked C

DEVELOPMENT APPLICATION

Notes:
Do not scale. Check and verify all dimensions.
Before construction, confirm that all dimensions are correct.
Dimensions shown are to the face of the building.



WEST ELEVATION

SOUTH ELEVATION

C. Revised to include DTP comments	28.05.10
B. Revised to address Council's issues	01.04.10
A. Development & Acquisition report	19.03.10
P3. Prelim. Issue to Council	25.03.10
P2. Prelim. Issue to Client	19.10.09
P1. Prelim. Issue to Client	21.11.09
ISSUE DATE	DATE

architex
 Sydney, City of Parramatta
 22.05.10 14.2
 88 Concorde Street,
 Parramatta, NSW 2150
 Tel: 02 937 1422
 Fax: 02 937 1423
 www.architex.com.au

LEGEND
EXTERNAL MATERIALS AND FINISHES

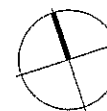
P1 PAINT FINISH 1 Dulux Smooth P52.02	C1 FEATURE WALL CLADDING 1 "Euroclad Panel Copper Cladding System M3 (natural) finish
P2 PAINT FINISH 2 Dulux Deep Walnut P13.A7	C2 FEATURE WALL CLADDING 2 "Euroclad Panel Zinc Cladding System Quartz (flame retardant) finish
P3 PAINT FINISH 3 Dulux Enamel Gloss P02.03	P01 WINDOWS - PERGOLAS Dulux Powdercoat Prestige Silver Pearl 5725
P4 PAINT FINISH 4 Dulux Enamel Gloss P02.03	M1 MATERIAL FINISH 1 Polished & Sealed Concrete
T1 TILE FINISH 1 "Cerique Granite Tile Cladding Teakwood Grain Finish	M2 MATERIAL FINISH 2 Steel Dressed Balconies Stainless Steel Finish
T2 TILE FINISH 2 "Cerique Granite Tile Cladding Blackstone Granite	
G1 GLASS BALUSTRADES Hargreave Tinted Toughened Glass Optical Clear	

*** 24m high building height line
in accordance with Parramatta
City Centre LEP + DCP 2007***

DEVELOPMENT APPLICATION

Project Development Application Mixed Use Development	Scale 1:200/3A1	Checked C
Project Address 7-9 Victoria Road Parramatta	Drawn By DA12	Scale 30m
Client Bocall Pty. Ltd.	Drawn By DA12	Scale 30m
The Elevations	Drawn By DA12	Scale 30m
Drawn 1906	Scale DA12	Checked C

True North

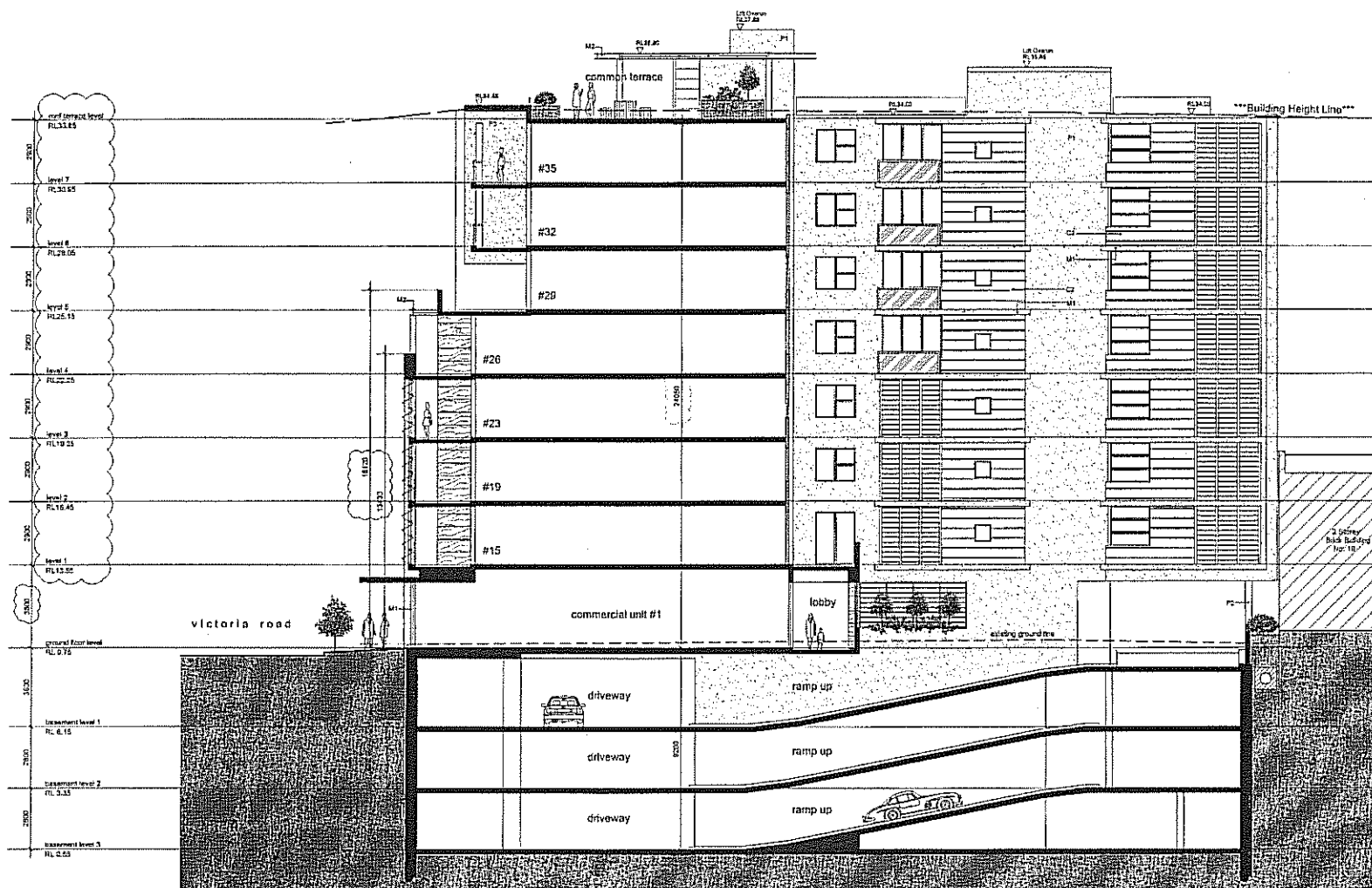


Notes:

Do not scale. Check and verify all dimensions before commencing any work. Drawings may vary due to site conditions.

LEGEND EXTERNAL MATERIALS AND FINISHES

P1	PAINT FINISH 1 Dulux Seawort POC.02	C1	FEATURE WALL CLADDING 1 "Embossed" Panel Cladding System MB (natural) finish
P2	PAINT FINISH 2 Dulux Deep Wicket P13.A7	C2	FEATURE WALL CLADDING 2 "Embossed" Panel Zinc Cladding System Dulux (natural) finish
P3	PAINT FINISH 3 Dulux Smoked Laurel POC.09	PC1	WINDOWS + PERGOLAS Dulux Powdercoat Pradour Silver Paint S7225
P4	PAINT FINISH 4 Dulux Lustron PML.08	M1	MATERIAL FINISH 1 Polished + Sealed Concrete
T1	TILE FINISH 1 "Chester" Sandstone Tile Cladding Teakwood Sewn Finish	M2	MATERIAL FINISH 2 Steel Cleared Balustrades Dark Grey Steel Finish
T2	TILE FINISH 2 "Opal" Quartzite Wall Cladding Dulux Granite		
G1	GLASS BALUSTRADES Pilkington Tinted Toughened Glass Optical Grey		



C	Issued to approved DCP documents	28-02-10
A	Issued to approved Council plans	01-04-10
A	Consentment Application Issue	10-05-10
P2	Issue to Council	15-01-12
P1	Issue to Council	12-11-09

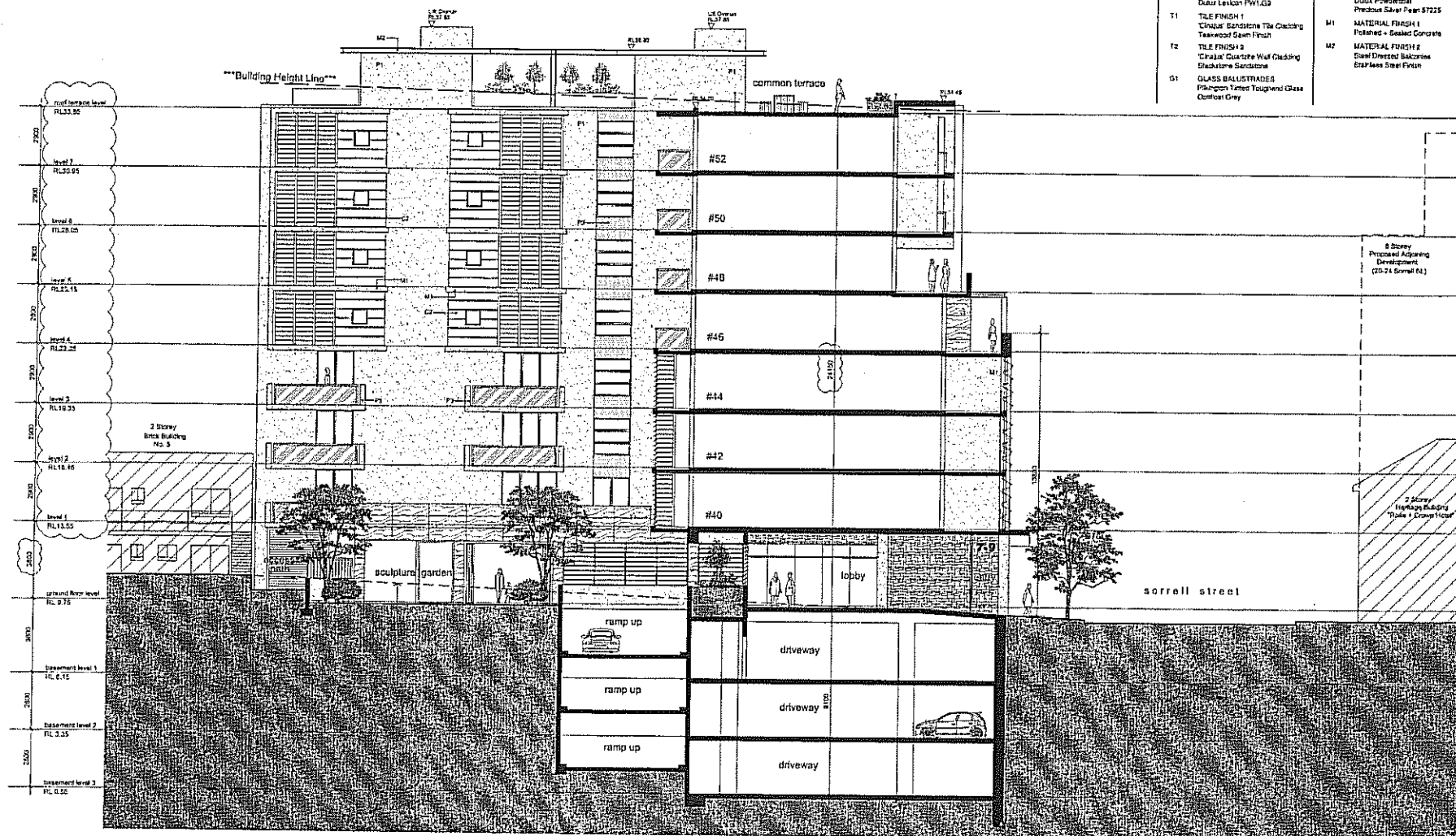
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SUBMITTAL REVIEW AND APPROVAL
DEVELOPMENT APPLICATIONS
55 COMPTON STREET, SYDNEY, NSW 2009
02 9231 1422
www.architex.com.au

Tel: 02 9231 1422
Fax: 02 9231 1423

DEVELOPMENT APPLICATION

Project	Development Application Mixed Use Development
Project address	7-9 Victoria Road Parramatta
Client	Bookall Pty. Ltd.
Title	Section A
Drawn	DCP
Scale	1:100 @ A1
Check	DA13
Rev	C

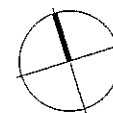
*** 24m high building height line
in accordance with Parramatta
City Centre LEP + DCP 2007***



LEGEND EXTERNAL MATERIALS AND FINISHES

P1	PAINT FINISH 1 Dulux Skovon PG2.C2	C1	FEATURE WALL CLADDING 1 'Emulad Panel Cladding System MR (natural) finish
P2	PAINT FINISH 2 Dulux Deep Walnut P13.A7	C2	FEATURE WALL CLADDING 2 'Emulad Panel Cladding System Quartz (natural silver) finish
P3	PAINT FINISH 3 Dulux Smoked Chest PG2.C9	PC1	WINDOWS + PIGGLAS Dulux Powdercoat Precision Silver Paint S7225
P4	PAINT FINISH 4 Dulux Leikson PW1.G3	M1	MATERIAL FINISH 1 Polished + Sealed Concrete
T1	TILE FINISH 1 'Chapel' Sandstone Tile Cladding Tasmanian Green Finish	M2	MATERIAL FINISH 2 Steel Dressed Balconies Stainless Steel Finish
T2	TILE FINISH 2 'Chapel' Quartzite Wall Cladding Blackstone Sandstone		
G1	GLASS BALUSTRADES Pilkington Tetra Toughened Glass Custom Grey		

True Northpoint



Notes:

Do not scale. Check and verify all dimensions
before commencing any work.
Ground levels may vary due to site conditions.

C	Revised to address DCP comments	29-05-10
B	Revised to address Council issues	20-04-10
A	Development Application submitted	10-03-10
F2	Final Design & Construction	29-01-10
F1	Final Design & Construction	10-12-09
F1	Final Design & Construction	27-11-09

NAME (DESIGNER) Date

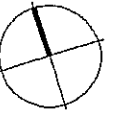
architex
Architectural Design & Construction
7-9 Victoria Road
Parramatta
NSW 2150
Tel: 02 9638 0288
Fax: 02 9638 1424
www.architex.com.au

DEVELOPMENT APPLICATION

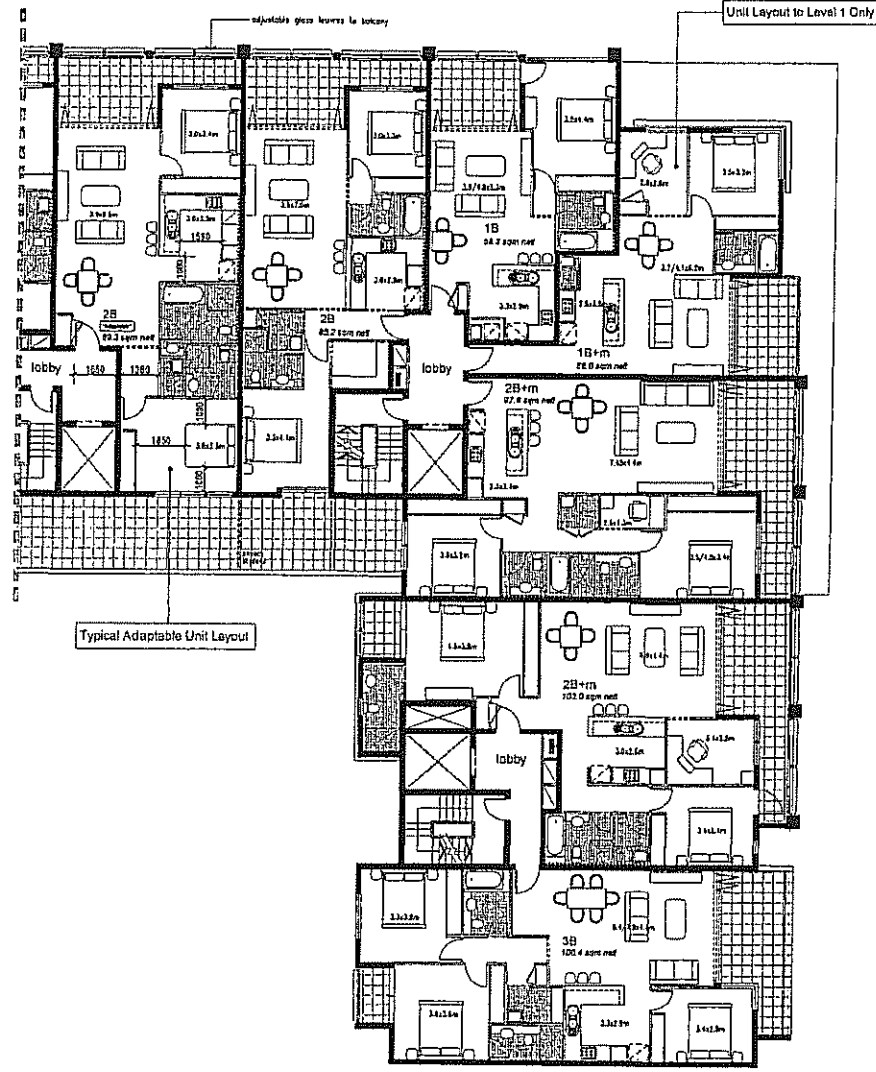
Project	Development Application Mixed Use Development
Project address	7-9 Victoria Road Parramatta
Client	Rockit Pty. Ltd.
Site	Section B
Drawn	CDP
Scale	1:100 @ A1
Checked	CDP
Doc No	1906
Drawing No	DA14
Rev	C

SECTION B

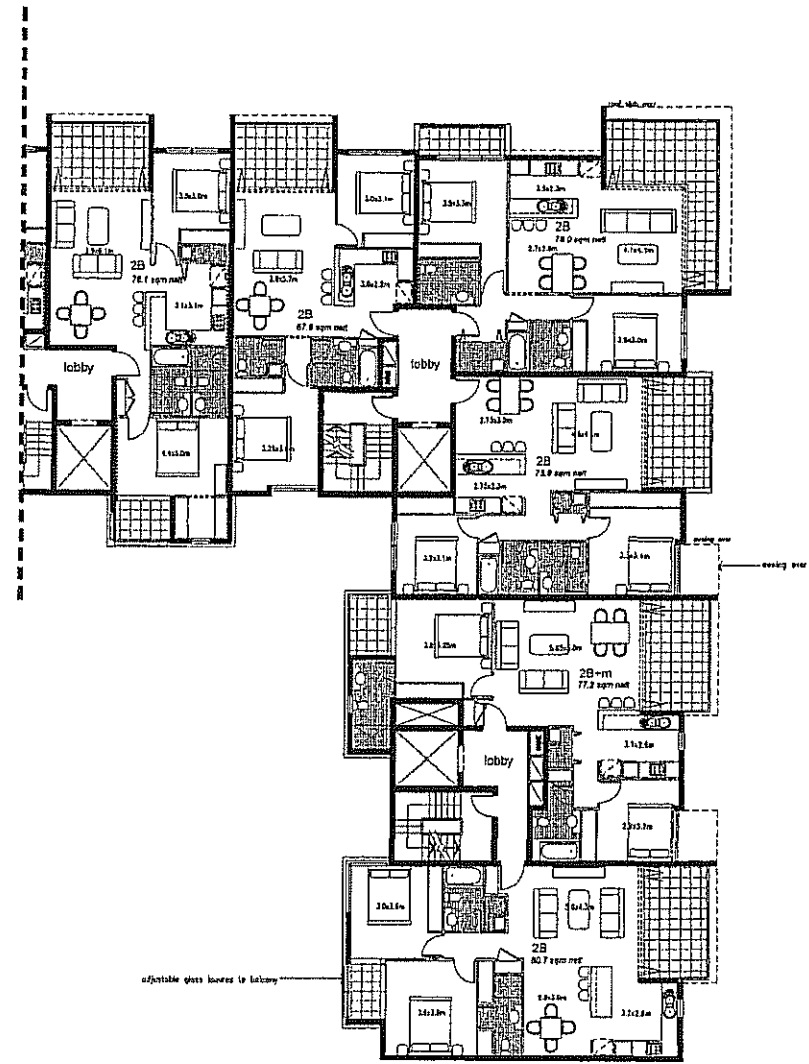
*** 24m high building height line
in accordance with Parramatta
City Centre LEP + DCP 2007 ***



Notes:
The red rooms, checks and verify all dimensions before commencing new work.
Ground level check may vary due to site conditions.



Typical Floor Levels 1 to 3



Typical Floor Levels 5 to 7

A. Development Application	18-01-10
B. Project Sub to Council	23-01-10
C. Project Sub to Council	19-12-09
D. Project Sub to Council	27-11-09

NAME DESCRIPTION DATE

architex
Architects and Interior Designers
Unit 10/11 318 1st St
33 Cowper Street,
Sydney, NSW 2000
www.architex.com.au
Tel: 9333 2038
Fax: 9333 1524

DEVELOPMENT APPLICATION

Project: Development Application
Mixed Use Development

Project address: 7-9 Victoria Road
Parramatta

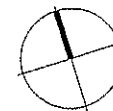
Client: Bockell Pty. Ltd.

Title: Typical Floor Layouts

Drawn: pdp Scale: 1:100 (B/A1) Checked: []
Date: [] Drawing No: [] Title: []

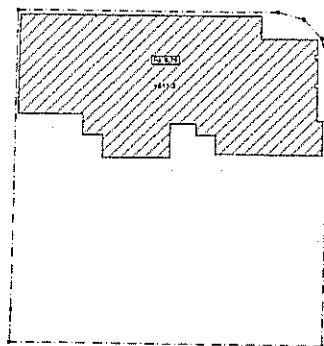
*All units shall contain 9 clothes

True North

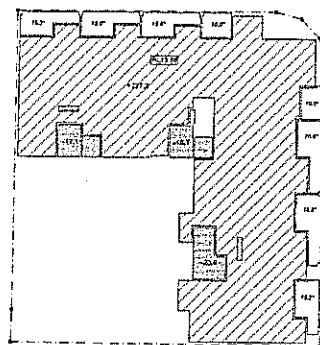


Notes:

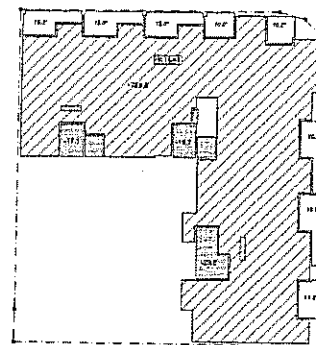
Do not scale, check and verify all dimensions
before commencing any work.
Ground levels may vary due to site conditions.



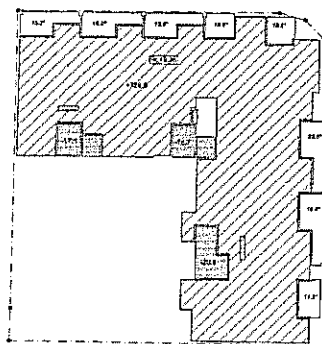
ground floor level total floor area = 511.3 sq m



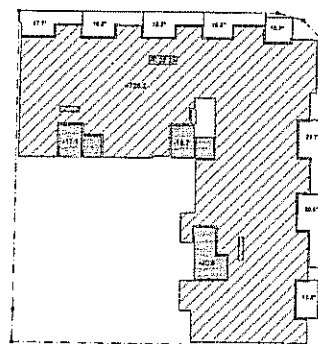
level 1 total floor area = 727.2 sq m



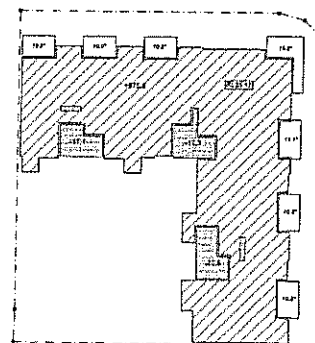
level 2 total floor area = 729.8 sq m



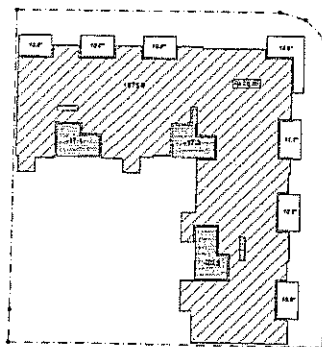
level 3 total floor area = 729.8 sq m



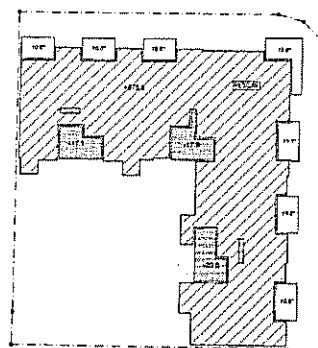
level 4 total floor area = 726.2 sq m



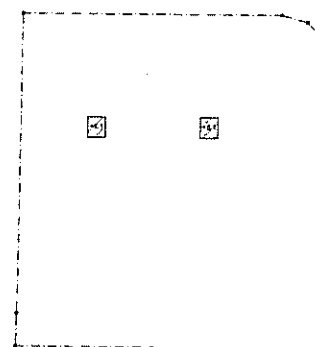
level 5 total floor area = 575.9 sq m



level 6 total floor area = 575.9 sq m



level 7 total floor area = 575.9 sq m



roof terrace level total floor area = 10.2 sq m

FLOOR AREAS

Basement Level 3*	= 1043.0 sq m*
Basement Level 2*	= 1043.0 sq m*
Basement Level 1*	= 1043.0 sq m*
Ground Floor Level	= 511.3 sq m
Level 1	= 727.2 sq m
Level 2	= 729.8 sq m
Level 3	= 729.8 sq m
Level 4	= 726.2 sq m
Level 5	= 575.9 sq m
Level 6	= 575.9 sq m
Level 7	= 575.9 sq m
Roof Terrace	= 10.2 sq m

TOTAL = 5,162.2 sq m

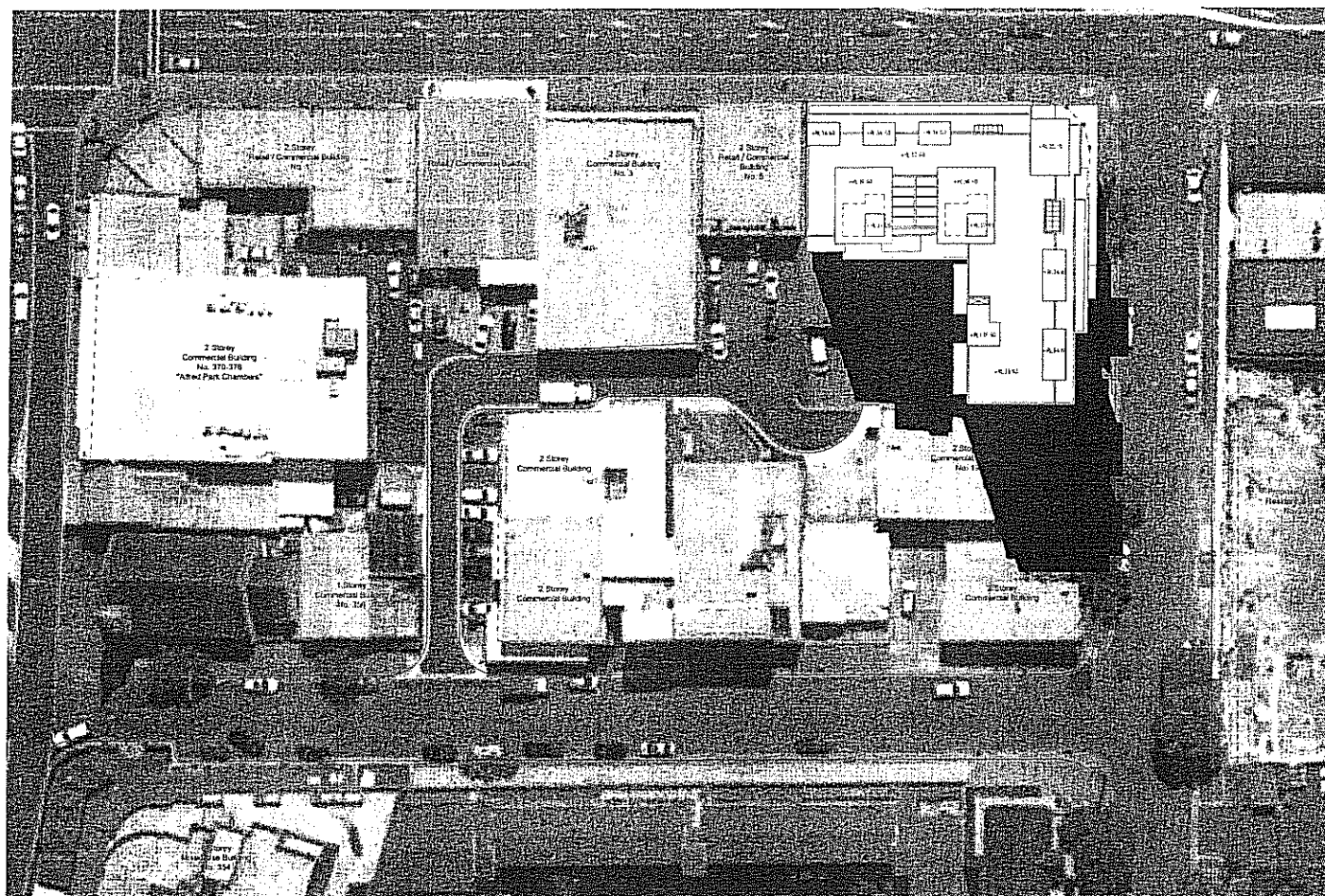
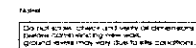
* not included in floor area calculations

Floor Area Calculations are measured from the internal face of external walls for service basements, ducts, lift, stairs, voids & service areas in accordance with Paramatta City Council LEP 2007

C. Revised to comply with LEP 2007	28-05-10
D. Revised to comply with LEP 2007	10-06-10
A. Development Application	10-06-10
P1. Prelim. Issue to Council	25-01-10
P2. Prelim. Issue to Client	10-12-09
P3. Prelim. Issue to Client	21-11-09
Issue Description	Date

architex
 130 Campbell Street
 Chippendale, NSW 1505
 Tel: 9557 1000
 Fax: 9557 1001
 www.architex.com.au

Project	Development Application Mixed Use Development
Project Address	7-9 Victoria Road Paramatta
Client	Bookill Pty. Ltd.
Title	F.S.R. Calculations
Drawn	1:300 (DA)
Scale	1:300 (DA)
Drawn By	DA16
Checked	C



Note:
All shadows cast by existing fences + adjoining structures have been attributed from these diagrams.

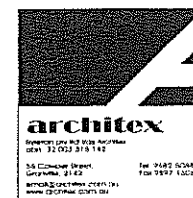
PROPOSED BUILDING HEIGHTS • RL33 60

AMOUNT OF AREA SHADED
BY PROPOSED BUILDING



12noon 21st June
Shadow Diagrams

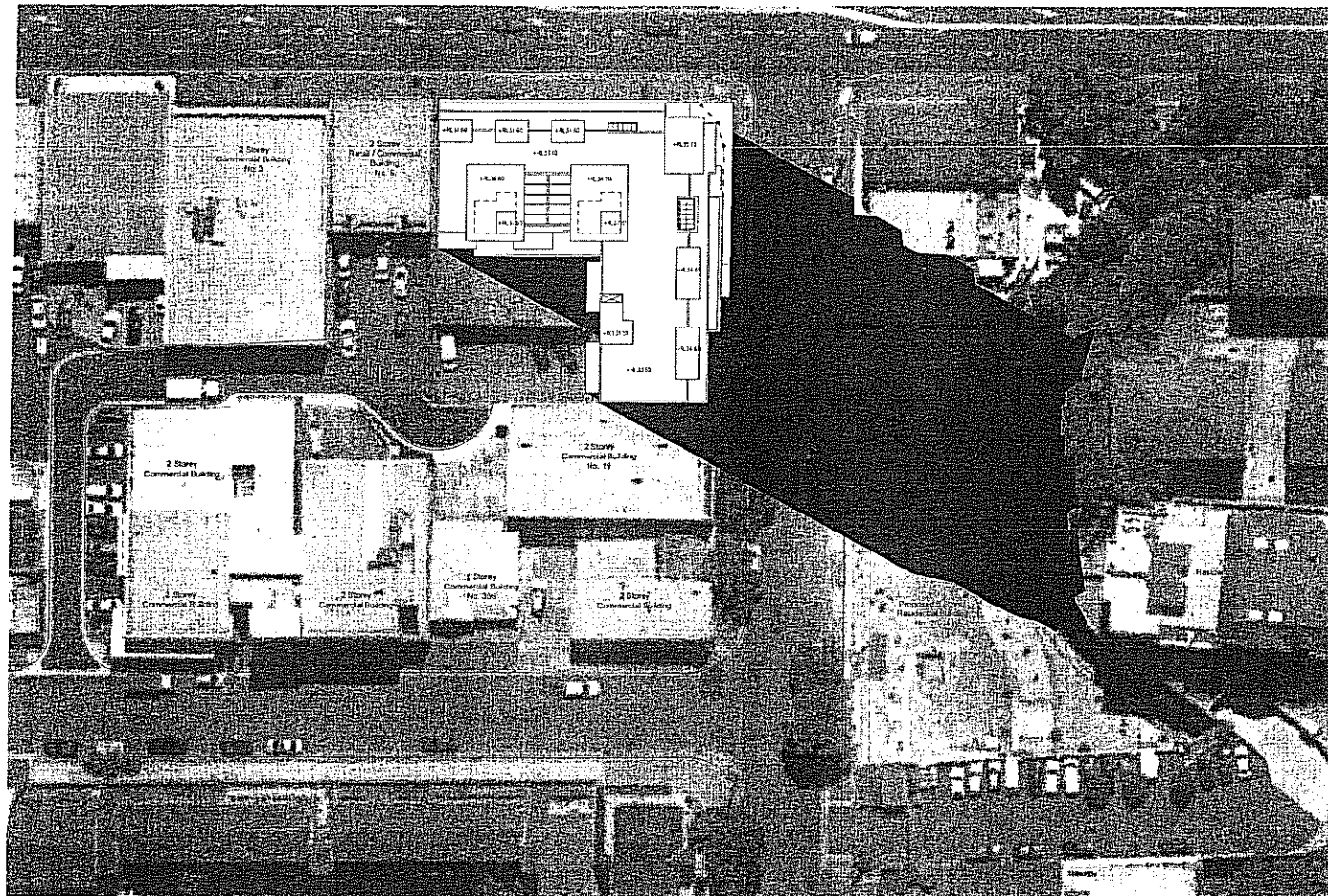
#	Department Accounting Head	15-112
P5	Payroll, Sales to Customers	25-010
#2	Payroll, Sales to Client	10-120
P5	Payroll, Sales to Client	24-010



DEVELOPMENT APPLICATION

Project			
Development Application Mixed Use Development			
Project address			
7-9 Victoria Road Paramatta			
Owner			
Booklet Pty. Ltd.			
Title			
Shadow Diagrams: 12noon 21st June			
Owner	Scale	Checked	
ppp	1:300 @ A1		
plg hrs	Drawing No.	Mark	
1906	DA18	A	

Do not store checks (and stuff) in a newspaper
(unless it's a newspaper page with
gas and news. It's more due to any conditions



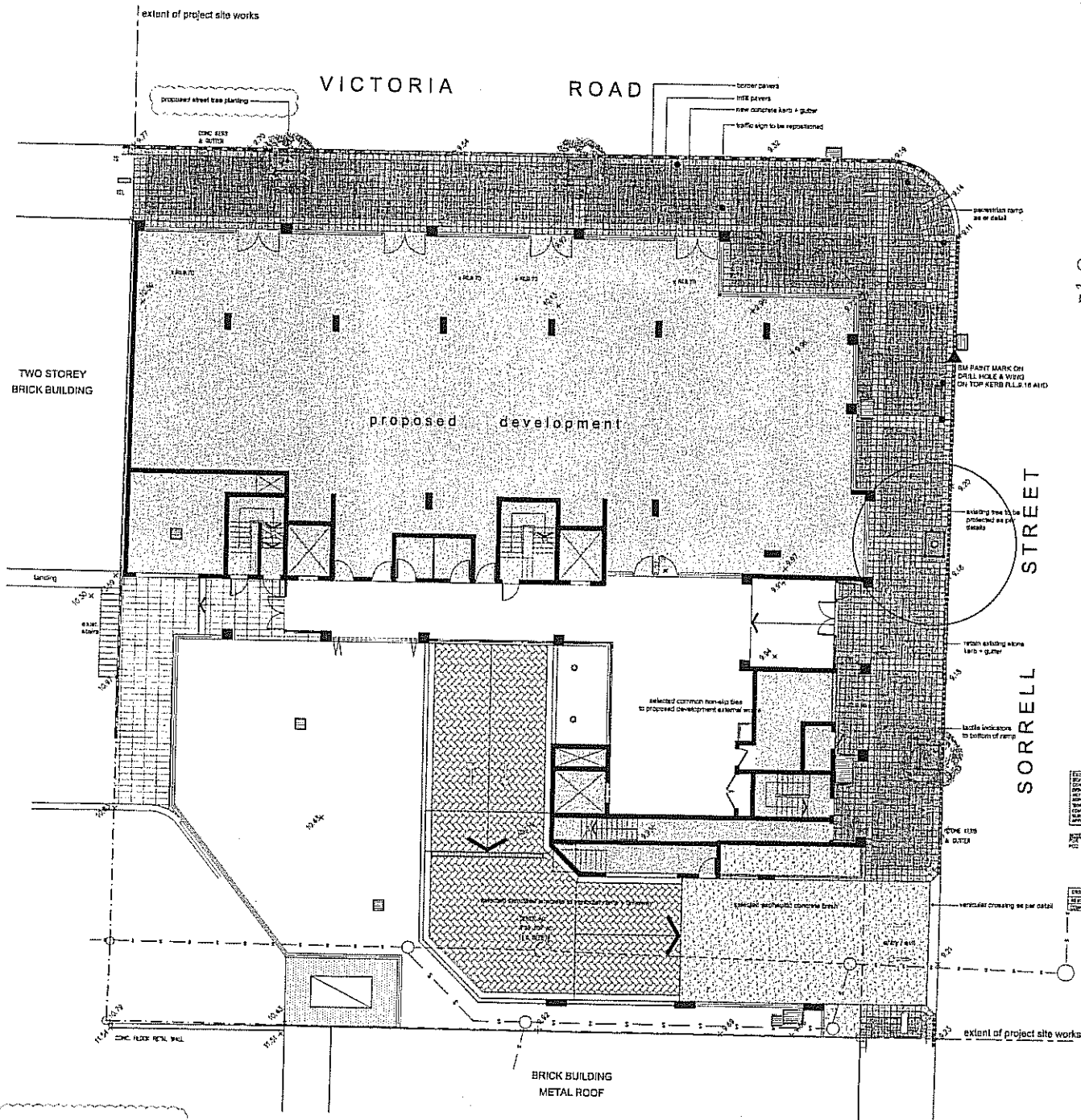
3pm 21st June
Shadow Diagrams

DEVELOPMENT APPLICATION

4	Transfer of Assets to Client	10-22-10
5	Assets to Client	25-01-11
6	Assets to Client	10-12-10
7	Assets to Client	27-11-09

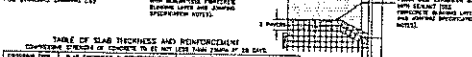
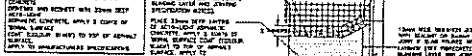
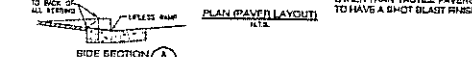
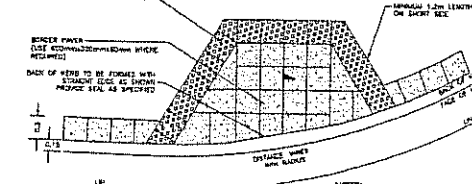
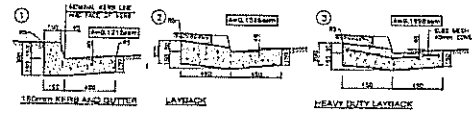
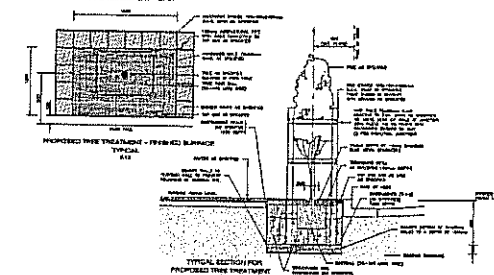


Project		
Development Application Mixed Use Development		
Project Address		
7-9 Victoria Road Parramatta		
Client		
Buckhill Pty. Ltd.		
The		
Shadow Diagrams: 3pm 21st June		
Drawn	Scale	Client
ppp	1:300 SA1	
21st May	26 May 2011	shw
1906	DA19	A

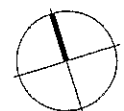


Public Works Details

In accordance with Paramatta DCP 2017



True north



Notes:

Do not build, check and verify all dimensions before commencing any work. Ground levels may vary due to site conditions.

C. Revised to include DCP 2017	23.08.12
E. Revised to include DCP 2017	01.04.12
A. Development Application	10.02.10
P2. Pre-Design Consultation	28.01.10
P3. Pre-Design Consultation	10.12.09
P4. Pre-Design Consultation	27.11.09

architex

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2/11 Concorde Place
Sydney, NSW 2142
www.architex.com.au

2/11 Concorde Place
Sydney, NSW 2142
www.architex.com.au

Project	Development Application Mixed Use Development
Project Location	7-9 Victoria Road Paramatta
Client	Bockill Pty. Ltd.
File	Public Domain Plan
Drawn	pdp
Scale	1:1000 (A1)
Year	1906
Drawn By	DA20
Checked	C

Legend	Structure Floor Level
Public Domain	Trained Rock Level